



Design Review Board

Regular Meeting
<http://www.roswellgov.com/>
~Agenda~

Chair Jeffrey Green
Vice Chair Mark Stovall
Board Member Ian Atkinson
Board Member Michael Guobaitis
Board Member Arie Kohn
Board Member Phiffer Reed

Tuesday, June 3, 2025

6:30 PM

City Hall - Council Chambers

**** Possible Quorum of Mayor and City Council ****

Welcome

I. Call to Order

II. Initial

- 1. 20251690 - 2965 Holcomb Bridge Road - Exterior renovations**

III. Approval of Minutes

- 1. April 1, 2025 DRB Minutes**

IV. Adjournment



City of Roswell
Design Review Board
AGENDA ITEM REPORT

ID # - 9827

MEETING DATE: June 3, 2025
DEPARTMENT: Design Review Board
ITEM TYPE: Public Hearing

20251690 - 2965 Holcomb Bridge Road - Exterior renovations

Item Summary:

The applicant, Chris Shuford, is requesting approval of exterior renovations, including a new parapet and new paint finishes, at 2965 Holcomb Bridge Road.

Committee or Staff Recommendation:

This item is being heard as an initial.

Financial Impact:

N/A

Recommended Motion:

This item is being heard as an initial. If the Design Review Board chooses to hear this as a final as this meeting, staff recommends the applicant be approved with the following condition:

1. The checkerboard pattern be limited to one wall as an accent feature.

Presented by:

Kristen Thomasberger

Petition No. DRB20251690

Property Location	2965 Holcomb Bridge Road
Zoning	NX – Neighborhood Mixed Use
Applicant	Chris Shuford/ Grease Monkey Oil Change
Request	Exterior Renovations

Background

The applicant, Chris Shuford, is requesting approval of exterior renovations, including a new parapet and new paint finishes, at 2965 Holcomb Bridge Road. This property is located in the NX-Neighborhood Mixed Use- zoning in the corridor and nodes district. The proposed exterior renovations are part of a project to convert the existing building from a former Jiffy Lube to a Grease Monkey Oil Change. The proposed paint design on the building, which is a light gray and dark gray checkerboard pattern on all sides of the building, does not meet the threshold for administrative DRB review in Unified Development Code Section 13.6.4. and must be reviewed by the full Design Review Board.

Analysis

The existing building is located off Holcomb Bridge Road and South Holcomb Bridge Way. To the north is Pike Nuseries, to the east is Autozone, to the west is an auto repair shop, and to the south is the Rivermont shopping center. The surrounding buildings, existing screening, and building location make this property and structure not visible from Holcomb Bridge Road. The front elevation as well as the side elevation are visible from South Holcomb Bridge Way, which is a private road (Figure 1,2). The front elevation and a partial side elevation are visible from South Holcomb Bridge Way when traveling toward Holcomb Bridge Road (Figure 3).

The applicant is proposing to add a new EIFS (Exterior Insulation and Finish Systems) parapet painted Sherwin Williams Tricorn Black on three sides of the building (front and two sides). The new parapet will obscure the existing pitched roof and raise the height of the building to be in line with the existing roof ridge. Building height will range from 17 feet to 20 feet on the front elevation and the (northeast) side elevation. The other side elevation be a consistent 17 feet in height and the rear elevation will keep the existing pitched roof and not increase in height. On the front elevation, the SW Tricorn Black paint will be broken up by a thick stripe, painted Sherwin Williams Real Red, which will be part of the backdrop of future signage. The parapet does not continue to the rear elevation, which will utilize the existing pitched roof design, painted SW Tricorn Black, to match the new parapet. (Figure 5). The proposed parapet will add

Attachment: 1_Staff Report (Initial) (20251690 - 2965 Holcomb Bridge Road - Exterior renovations)

screening to the existing roof mounted equipment that is currently exposed. The proposed service doors will be mostly transparent with black finishes. Wall mounted lighting fixtures and red painted bollards will be located between the service doors (figure 4). Additionally, the proposed renovation includes painting the existing brick building in a checkerboard pattern by alternating Sherwin Williams Gray Shingle and Sherwin Williams Peppercorn in square patterns (figures 4-6).

Figure 1 -View of existing and surrounding buildings from South Holcomb Bridge Way facing north.



Figure 2- View of existing and surrounding buildings from South Holcomb Bridge Way facing southwest



Figure 3- View of existing building from Holcomb Bridge Way traveling toward Holcomb Bridge Road



Attachment: 1_Staff Report (Initial) (20251690 - 2965 Holcomb Bridge Road - Exterior renovations)

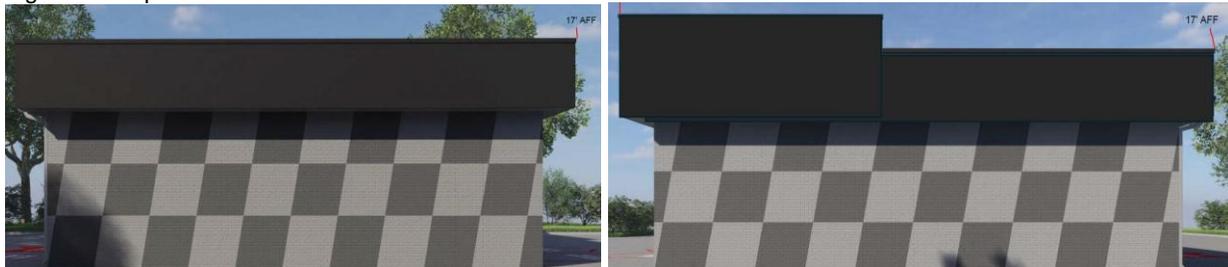
Figure 4- Proposed Front Elevation



Figure 5- Proposed Rear Elevation



Figure 6- Proposed Side Elevations



Attachment: 1_Staff Report (Initial) (20251690 - 2965 Holcomb Bridge Road - Exterior renovations)

Recommendations

This item is being heard as an initial. If the Design Review Board chooses to hear this as a final as this meeting, staff recommends the applicant be approved with the following condition:

1. The checkerboard pattern be limited to one wall as an accent feature.

Attachments

Letter of intent, elevations, and application.

Plan Review Comments

Application Number: 20251690

Parcel ID: 12 -3080-0831-033-8

Location: 2965 Holcomb Bridge Rd, Alpharetta, GA

Location Description:

Project: Drb Major

Project Description: Grease Monkey Oil Change

Chris Shuford/Shuford General Contractors Llc

Zone: Nx, NBRHOOD MIXED

Planning And Zoning, Kristen Thomasberger

Agenda - 04/29/ 5

Reviewer: Kristen Thomasberger, Planner II, 770-594-6275, kthomasberger@roswellgov.com.
Ready for June 3, 2025 DRB meeting agenda. Staff has the following recommendations to the Design Review Board: The checkerboard pattern be limited to one wall as an accent, rather than the entire building.

Fire Department, Robert Major

Approved - 04/29/ 5

Plans reviewed by Robert Major rmajor@roswellgov.com 770-594-6263
Your plans have been approved. Please see below for comments and requirements.

The Roswell Fire Marshal's Office has reviewed the submitted plans and specifications in strict adherence to the prevailing state-adopted minimum Fire Safety Standards at the time of evaluation. Every possible effort has been invested to ensure thorough scrutiny for code compliance. However, it is essential to emphasize that this comprehensive review does not absolve the owner, contractor, architect, or any other accountable party from their obligation to comply with any aspects inadvertently overlooked or undisclosed by the reviewer.

Please be aware that the City of Roswell must formally review any proposed changes or modifications to the approved plans before implementation is authorized.

Building Division, Don Fouts

App W/Comm - 04/23/ 5

1. Please apply for a building permit after the DRB approvals are obtained.
2. At the time of building permit submittal, please provide an assessment from a professional engineer or an approval from Fulton County Commercial Pre-Treatment that the existing oil separator is functioning and adequate.

Attachment: 1_Staff Report (Initial) (20251690 - 2965 Holcomb Bridge Road - Exterior renovations)

Intended scope of work for Grease Monkey façade alterations located at 2965 Holcomb Bridge Rd Alpharetta Ga 30022. The work will include the construction of a new parapet wall around the the front and 2 side elevations of the building constructed of 18 gauge metal framing, Densglass sheathing, EFIS finish system and new paint finishes.

RECEIVED

2.1.c

By City of Roswell Planning & Zoning at 11:53 am, Apr 22, 2025

14' AFF

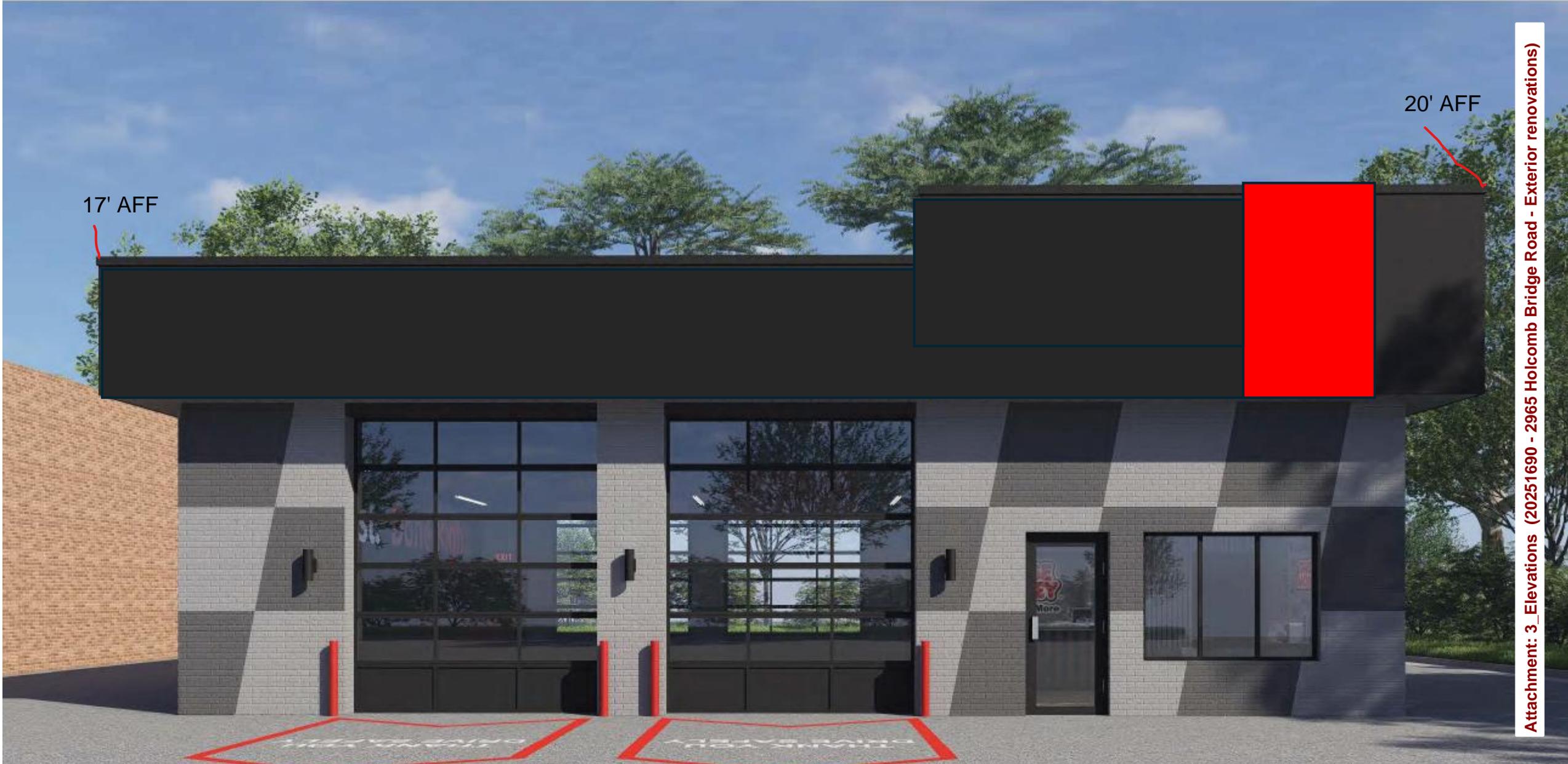
17' AFF

2965-A

Attachment: 3 Elevations (20251690 - 2965 Holcomb Bridge Road - Exterior renovations)

17' AFF

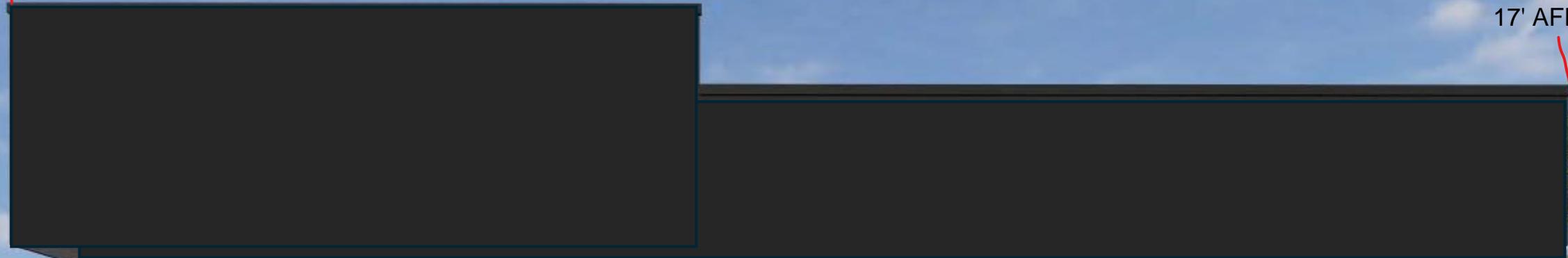
20' AFF



Attachment: 3 Elevations (20251690 - 2965 Holcomb Bridge Road - Exterior renovations)

20' AFF

17' AFF



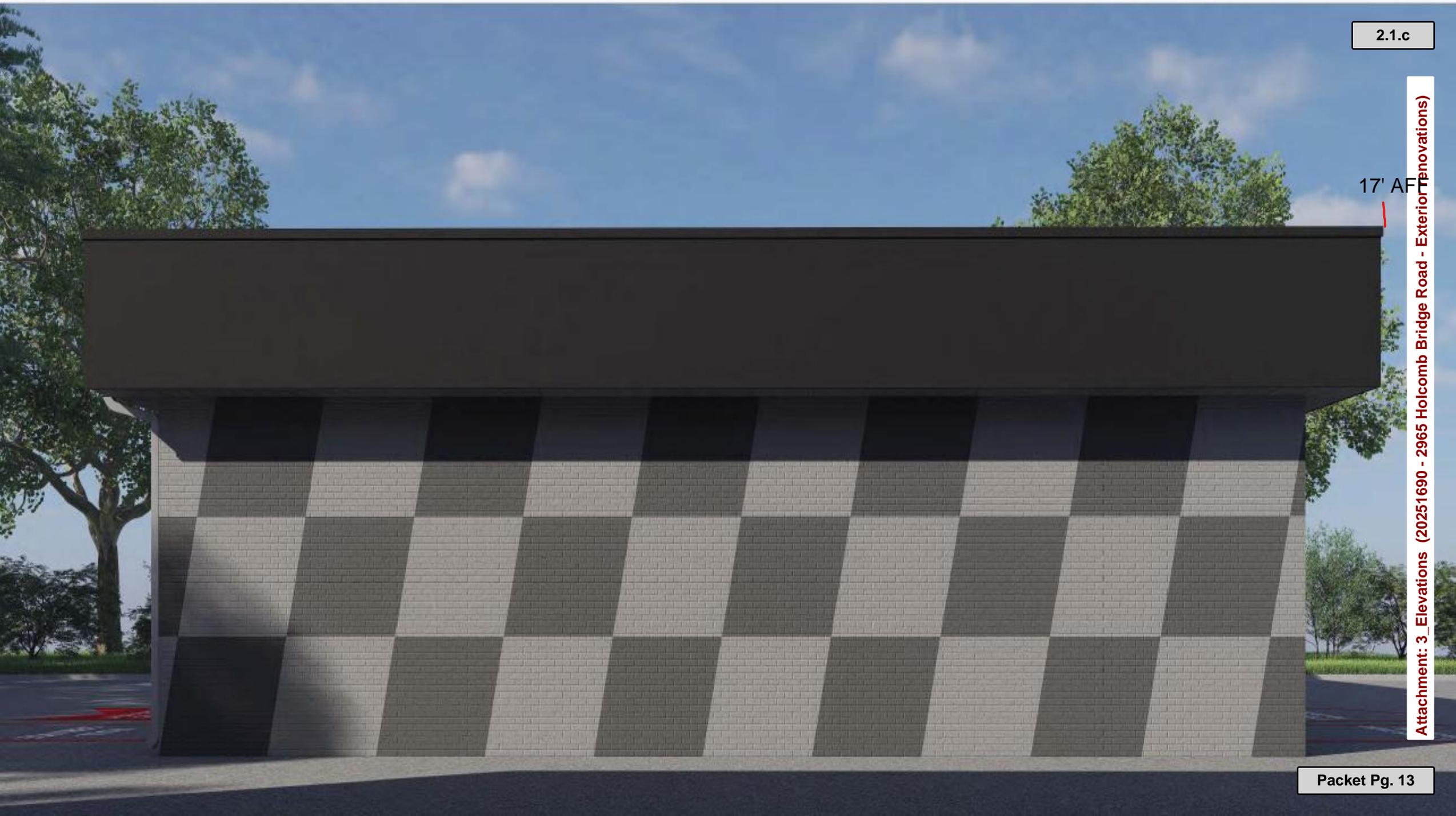
Attachment: 3_Elevations (20251690 - 2965 Holcomb Bridge Road - Exterior renovations)



Attachment: 3 Elevations (20251690 - 2965 Holcomb Bridge Road - Exterior renovations)

17' AFF

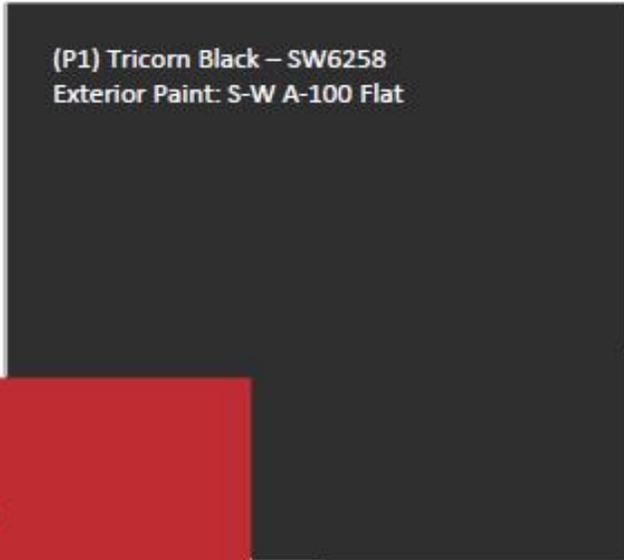
Attachment: 3 Elevations (20251690 - 2965 Holcomb Bridge Road - Exterior Renovations)



Material Board – Exterior (Paint Option)



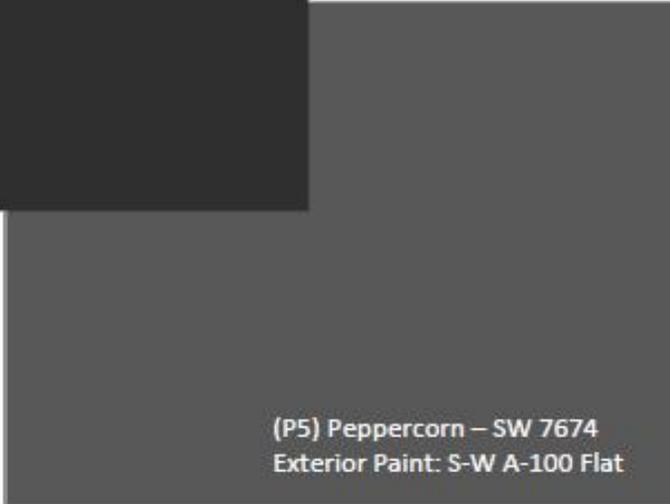
(P3) Gray Shingle – SW7670
Exterior Paint: S-W A-100 Flat



(P1) Tricorn Black – SW6258
Exterior Paint: S-W A-100 Flat



(P4) Real Red – SW6868
Exterior Paint: S-W Pro
Industrial Acrylic Semi-Gloss



(P5) Peppercorn – SW 7674
Exterior Paint: S-W A-100 Flat

New Parapet Material:
18 gauge metal stud framing
Densglass Sheathing
EIFS finish



RECEIVED

2.1.d

By City of Roswell Planning & Zoning at 1:52 pm, Apr 21, 2025

APPLICATION INTAKE

In Person: 8:00 am – 4:00 pm

By Email: planningandzoning@roswellgov.com



DESIGN REVIEW BOARD APPLICATION

Before submitting an application, please contact Planning and Zoning to determine if a pre-application meeting is required. Preapplication Meeting Date: _____

Application Number: 20251690			
Type of Request:		<input checked="" type="checkbox"/> Major	<input type="checkbox"/> Administrative
Estimated Cost: <input checked="" type="checkbox"/> Less Than \$50,000 <input type="checkbox"/> Greater Than \$50,000			
PROJECT DESCRIPTION			
Name of Project: Grease Monkey Oil Change		PIN: 12 -3080-0831-033-8	
Project Address: 2965 Holcomb Bridge Rd Alpharetta Ga 30022			
<u>Building/ Renovation</u>		<u>Site Work</u>	
<input type="checkbox"/> New Construction _____ sq. ft		<input type="checkbox"/> Site work greater than 5000 sq ft.	
<input checked="" type="checkbox"/> Renovation (No change to building footprint)		<input type="checkbox"/> Site work less than 5000 sq. ft.	
<input type="checkbox"/> Building Addition _____ sq. ft			
CONTACTS			
Applicant/Representative	Name/Company Name: Shuford General Contractors LLC / <i>Chris Shuford</i>		
	Address: 301 Greenough St		
	City: Hogansville	State: GA	Zip: 30230
	Email: chris@shufordgc.com	Phone: 706 594 7957	
Property Owner	Name/Company Name: Holcomb Ferry Properties LLC		
	Address: P O Box 28681		
	City: Atlanta	State: GA	Zip: 30358
	Email: leslie@willetts.net	Phone: 7705981742	
<i>I hereby certify that all information provided herein is true and correct.</i>			
		04/15/2025	
Applicant Signature: Property Owner or Owner's Representative		Date	

Attachment: 4_Application (20251690 - 2965 Holcomb Bridge Road - Exterior renovations)

Please refer to Section 13.6 of the Unified Development to determine if your project is categorized as an Administrative or Major Review
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Planning and Zoning Division Application • Rev 12/27/2024

SIGNATURE PAGE

READ CAREFULLY BEFORE SIGNING.

- I understand that failure to supply all required information (per the relevant Applicant Checklist and requirements of the *Unified Development Code*) will result in **REJECTION OF THE APPLICATION**.
- I understand that the application may not be approved if applicant plans to attend the Design Review Board meeting without required items or if the applicant presents plans that differ from submittal materials.
- I understand that I will become familiar with applicable zoning code and Design Guidelines.

I understand that failure to respond OR to submit deficient items within six months of receiving comments will result in **THE APPLICATION BEING DEEMED AS WITHDRAWN BY THE CITY**

Applicant or Representative Signature *C. L. Smith* Date *4/15/25*

I respectfully petition that this property be considered as described in this application. Wherefore, applicant prays that the procedures incident to the presentation of this petition be taken, and the property be considered accordingly. Additionally, applicant further acknowledges and fully understand all above statement made by the City of Roswell.

I hereby certify that all information provided herein is true and correct

Property Owner Signature *Kesha Willetts* Date *04/15/25*

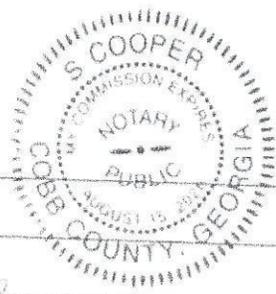
Address *PO Box 28681*

City: *Atlanta*

State: *GA*

Zip: *30358*

NOTARY: Personally appeared before me the above applicant or representative named *Kesha EUGENIA Willetts* who on oath says that he/she is the applicant or representative for the foregoing, and that all the above statements are true to the best of his/her knowledge



Notary Signature *S. Cooper*

Date *4/15/2025*

Date commission expires: *August 15, 2026*

Attachment: 4_Application (20251690 - 2965 Holcomb Bridge Road - Exterior renovations)

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City of Roswell
Design Review Board
AGENDA ITEM REPORT

ID # - 9867

MEETING DATE: June 3, 2025
DEPARTMENT: Design Review Board
ITEM TYPE: Minutes

April 1, 2025 DRB Minutes

Item Summary:

Committee or Staff Recommendation:

On (date) the (name of Committee) Committee recommended placing this Item on the (date) Mayor and Council Agenda.

Financial Impact:

Recommended Motion:

Presented by:



Design Review Board

Regular Meeting
<http://www.roswellgov.com/>
~Minutes~

Chair Jeffrey Green
Vice Chair Mark Stovall
Board Member Ian Atkinson
Board Member Michael Guobaitis
Board Member Arie Kohn
Board Member Phiffer Reed

Tuesday, April 1, 2025	6:30 PM	City Hall - Council Chambers
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**** Possible Quorum of Mayor and City Council ****

Welcome

I. Call to Order

The meeting was called to order at 6:30 PM by Vice Chair Mark Stovall
Chair Jeffrey Green: Absent, Vice Chair Mark Stovall: Present, Board Member Ian Atkinson: Present, Board Member Michael Guobaitis: Present, Board Member Arie Kohn: Present, Board Member Phiffer Reed: Absent, Planner II Kristen Thomasberger: Present.

II. Initial

1. 20250645 - 705 Holcomb Bridge Road - Dutch Bros. New Construction of a Restaurant

The DRB unanimously voted to hear this item as a final.

This item was approved with the following conditions:

- 1. A pedestrian walkway or crosswalk between the sidewalk and walkup window shall be added to encourage pedestrian connectivity.*
- 2. All department comments shall be met at requisite permit stage.*

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Ian Atkinson, Board Member
SECONDER:	Michael Guobaitis, Board Member
IN FAVOR:	Mark Stovall, Ian Atkinson, Michael Guobaitis, Arie Kohn
ABSENT:	Jeffrey Green, Phiffer Reed

Attachment: 4_April 1, 2025 Brief Minutes (April 1, 2025 DRB Minutes)

III. Approval of Minutes**1. January 7, 2025 DRB Minutes**

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Ian Atkinson, Board Member
SECONDER:	Arie Kohn, Board Member
IN FAVOR:	Mark Stovall, Ian Atkinson, Michael Guobaitis, Arie Kohn
ABSENT:	Jeffrey Green, Phiffer Reed

IV. Adjournment

There being no further comments or discussion the meeting was adjourned at 6:53 PM